

TOWN OF NORTH HAVEN

MEMORIAL TOWN HALL / 18 CHURCH STREET

NORTH HAVEN, CONNECTICUT 06473



REPLY TO:

Tel. (203) 239-5321

Fax (203) 234-2130

#P20-27

**PLANNING AND ZONING COMMENTS
FOR 5 OCTOBER 2020
135 WASHINGTON AVENUE
(MAP 73, LOT 13)
135 WASHINGTON AVE, LLC, APPLICANT
WASHINGTON ASSOCIATES, OWNER
SITE PLAN APPLICATION**

IL-30

Review Comments:

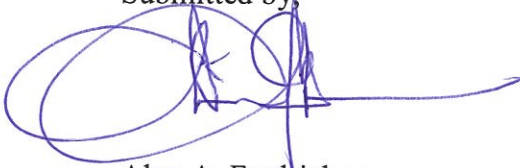
1. This application is intended to permit the construction of a new, approximately 7,000 square feet, single story retail structure to contain O'Reilly Auto Parts. The existing structure on the property has been demolished in its entirety.
2. The Zoning Board of Appeals approved a side yard setback variance of 10' on 30 July 2020 to enable this site configuration to go forward.

Recommended Conditions of Approval, if granted:

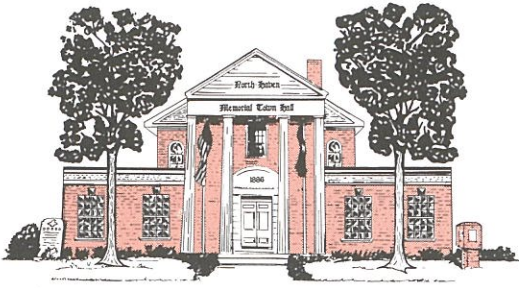
1. Submit revised plans which include:
 - a. A note indicating "#P20-27, Site Plan Approval".
 - b. A note indicating there will be no outdoor storage on the site.
 - c. All rows of parking must be terminated with an 8' wide landscaped island containing one (1) minimum 2" caliper deciduous tree.
 - d. Actual proposed building height in zoning data table.
 - e. Size and location of any proposed mechanical and/or electrical equipment.
 - f. Revised lighting layout to eliminate light trespass exceeding (1) footcandle.
2. Any approval is contingent on the approval of the State of Connecticut D.O.T. for traffic and drainage conditions.
3. Soil and erosion controls must be inspected by the Zoning Enforcement Officer before work may commence.
4. The property owner, and/or his/her agents, must maintain (repair/replace) when necessary, the siltation control until all development activity is completed and all disturbed areas are permanently stabilized.

5. Any proposed signage or fencing will require the filing of applications with the Zoning Enforcement Officer.
6. Submit an as-built plan prior to bond release.
7. Post bond, as required.

Submitted by,

A handwritten signature in blue ink, appearing to read 'Alan A. Fredricksen', with a long horizontal flourish extending to the right.

Alan A. Fredricksen
Land Use Administrator
AAF/lc
#P20-27



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REPLY TO: Engineering

Tel. (203) 239-5321
Fax (203) 234-2130

PLANNING AND ZONING

Date of Meeting: 10/05/2020

Dev: Site Plan
Loc: 135 Washington Avenue
File: P20-27

Comments:

1. The site plan as proposed shows the reuse of two of the three existing dry wells within the existing parking areas. Existing dry wells shall be thoroughly cleaned of sediment and debris and protected from sediment during construction. The permeability of the soils below these dry wells shall be tested to ensure that sufficient infiltration capacity is available to fully drain the structures within 24-48 hours.
2. We would prefer to see the roof leader tied to the drainage system in the front parking area where two drywells are proposed in order to avoid overloading the single rear dry well.

- [] Above comments are relatively minor in nature and can be addressed subsequent to an approval.
- [] Above comments (*) should be addressed prior to deliberations

BOND RECOMMENDATION: \$2,500
 DATE REVIEWED: 09/28/2020
 TOWN ENGINEER: J. Andrew Bevilacqua, P.E.